

Project Narrative for 105 W Main Street  
The NILE Theater.

The NILE Theater opened in September of 1924. The original building housed not only a movie theater that provided for the talkies that were to come later but stage shows. The original exterior brick façade was covered during the urban renewal craze of the 1960s with stucco.

This Façade improvement program will remove the colonnade in front of the building and the 1960 stucco façade, and clean and repair the original brick that remains under the stucco, add back the crenulated top brick parapet, and if funding allows replicate the original theater “Marquee” canopy. The existing glass storefront will remain in place. A new entry door to the upstairs apartment will be provided as will a new exit door from the existing theater space. New subway tile will replace the broken tile front now on the building. Upon demolition and discovery of stucco and understanding the condition of the brick and its limits, it is the intent to add the original look of glass block back to the façade.

**ARCHITECTURE.ART.PLANNING.HISTORIC PRESERVATION**

1711 E. Brown Road      Mesa, AZ 85203      480.649.4450      Fax: 480.649.4450  
Email: [rlpeters@historicstreetscapes.com](mailto:rlpeters@historicstreetscapes.com)



NILE SIGNAGE WILL BE CHALKED ON BRICK TO LOOK OLD



STREET VIEW THE NILE CONCEPT A SHADOWS SHOWN OCT 10



STREET VIEW THE NILE CONCEPT B SHADOWS SHOWN JUNE 25.



THE NILE STREET VIEW EXISTING TODAY



THE NILE VIEW IN 1928



PERSPECTIVE VIEW WITH MARQUEE SHADOWS JUNE 25

MARQUEE CONCEPT WILL DEPEND ON SUCCESS OF A FUND RAISER TO RECONSTRUCT THE MARQUEE FROM HISTORIC PHOTOS. CLOTH CANOPY IS BASE B.D.

AS WE ARE NOT SURE WHAT CONDITION THE BRICK IS UNDER THE STUCCO WE ARE UNSURE AS TO THE EXISTING COLOR. WE WILL GO WITH WHAT IS THERE.



PERSPECTIVE WITH AWNING AND BRICK CHANGE SHADOWS OCT 10

HISTORICSTREETSCAPES PLLC  
ARCHITECTURE PLANNING ART HISTORIC PRESERVATION  
1711 EAST RUSTAL ROAD PHOENIX, ARIZONA 85016  
CITY OF PHOENIX 480-944-4900

PRE-SUBMITTAL PACKAGE  
105 W 55th AVENUE STREET  
MESA AZ

ARCHITECT

EXHIBIT

SHEET

PROJECTIONS

DATE

PROJECT NO.

DATE 3/13/2017

PROJECT NAME

ELEVATIONS

DRAWING NO.



# DOWNTOWN FACADE IMPROVMENT MAIN STREET - CITY OF MESA ARIZONA

CITY OF MESA PROJECT NO. CP0781  
HUD PROJECT NO. IDIS 752

## RESTORATION OF THE NILE THEATER FACADE 105 WEST MAIN STREET, MESA ARIZONA 85201



NILE THEATER CA. 1924

PHOTO COURTESY OF MESA MUSEUM OF NATURAL HISTORY

### SHEET INDEX

<u>GENERAL</u>		
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<u>ARCHITECTURAL</u>		
A201	LAYOUT SHEET	x OF x
<u>PLUMBING</u>		
P101	PLUMBING PLAN	x OF x

### CONSULTANTS

#### ARCHITECT

HISTORICSTREETSCAPES PLLC  
CONTACT: RON PETERS AIA, AICP  
1711 E. BROWN RD  
MESA, AZ 85203  
PHONE (602) 309-3524

#### STRUCTURAL ENGINEERS

CARUSO, TURLEY, SCOTT INC.  
CONTACT: RICHARD TURLEY, PE  
1215 W. RIO SALADO PKWY. STE. 200  
TEMPE, AZ 85281  
PHONE: 480-774-1739

#### ELECTRICAL ENGINEERS

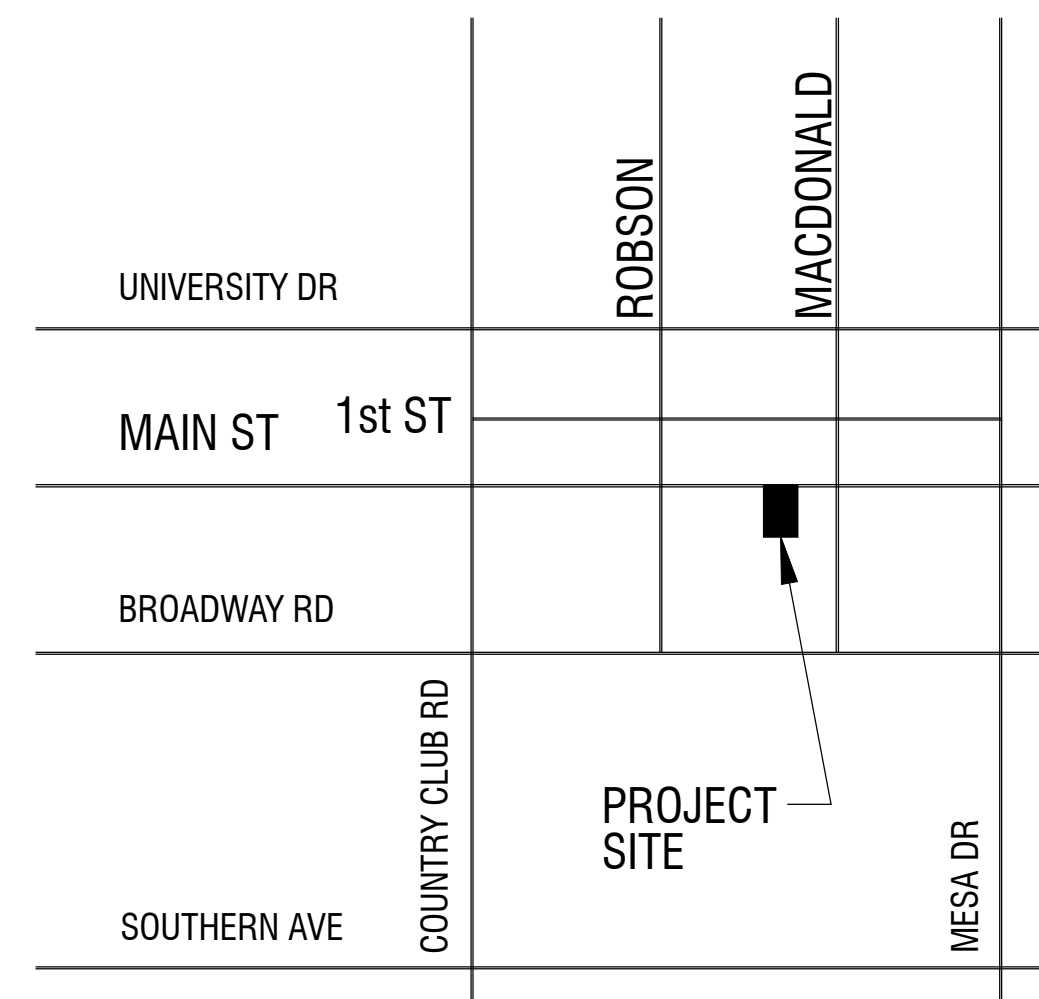
SYSTEMS APPLIED ENGINEERING  
CONTACT: HAMID FARHADI, PE  
3322 S. MILL AVE.  
TEMPE, AZ 85282  
PHONE: 480-968-3070

#### FIRE PROTECTION ENGINEERS

INFO REQUIRED

### PROJECT SCOPE

THIS BUILDING IS THE RENOVATION OF A HISTORIC STRUCTURE LOCATED IN MESA ARIZONA. THE CONTRACTOR SHALL TAKE CARE WHERE POSSIBLE TO PROTECT EXISTING HISTORIC CHARACTER DEFINING FEATURES OF THE BUILDING DURING CONSTRUCTION AND DEMOLITION. ANY DETERMINATION OF POTENTIALLY HISTORIC FABRIC SHOULD BE PROTECTED AND THE ARCHITECT CONTACTED FOR A DECISION ON PRESERVATION, RESTORATION OR REMOVAL. THE OWNER SHALL HAVE FIRST REFUSAL OF ANY MATERIALS BEING REMOVED FROM THE SITE. THE RENOVATIONS WILL INCLUDE THE REMOVAL OF THE EXISTING COLONNADE, STUCCO FACING, REPLACEMENT OF BRICK PARAPET, NEW TILE FACING AND STOREFRONT REPAIR



### CITY OF MESA GENERAL NOTES:

1. WORK AND MATERIALS SHALL CONFORM TO THE MOST CURRENT UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION AS FURNISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS AND AS AMENDED BY THE CITY OF MESA. WORK AND MATERIALS NOT IN CONFORMANCE WITH THESE AMENDED SPECIFICATIONS AND DETAILS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
2. CONTRACTOR TO OBTAIN ANY PERMITS REQUIRED UNLESS OTHERWISE INDICATED. RELOCATIONS, AND REMOVALS BY OTHERS.
3. INSPECTIONS SHALL BE BY THE CITY OF MESA. THE CONTRACTOR SHALL NOTIFY THE CITY OF MESA INSPECTION DEPARTMENT AT LEAST 48-HOURS IN ADVANCE OF ANY CONSTRUCTION.
4. THE JOB SITE, AT THE COMPLETION OF THE CONSTRUCTION, SHALL BE CLEANED OF ANY DEBRIS OR SPOIL RESULTING FROM THE CONSTRUCTION.
5. EQUIPMENT AND MATERIALS NOT SHOWN OR SPECIFIED ON THE PLANS OR IN THE SPECIFICATIONS BUT ARE REQUIRED TO COMPLETE THIS INSTALLATION, SHALL BE SUPPLIED BY THE CONTRACTOR AS PART OF THIS CONTRACT WORK.
6. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY FITTINGS AND ADAPTERS REQUIRED TO CONNECT DIFFERENT TYPES OF WATER LINE MATERIAL.
7. CONTRACTOR TO ARRANGE SPRINKLER SYSTEM SHUTDOWN DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTOR.
8. IT IS THE CONTRACTORS RESPONSIBILITY TO INSPECT THE JOB SITE TO BECOME FAMILIAR WITH ALL EXISTING CONDITIONS THAT COULD EFFECT THE INSTALLATION OF ANY WORK SET FORTH IN THESE PLANS PRIOR TO SUBMITTING A BID. THERE WILL BE A PRE-BID WALK THRU.
9. MATERIALS REQUIRED SHALL BE OF A GRADE AND QUALITY CONSISTENT WITH THE INTENDED USE AS APPROVED BY THE ENGINEER.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ANY LINES THAT MAY BE NEEDED OR AVOIDED IN THE DEMOLITION/REMODELING PHASES IN ADVANCE OF ANY CONSTRUCTION. THE CITY OF MESA DOES NOT GUARANTEE ANY LOCATIONS REFERENCED.
11. THE CONTRACTOR IS ADVISED THAT DAMAGE CAUSED BY CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR, AT THE CONTRACTOR'S EXPENSE.
12. INSPECTION SHALL BE EXECUTED BY THE BUILDING INSPECTIONS DEPT. BY THE BUILDING MAINTENANCE DEPT. BY THE FIRE DEPT. AND BY THE ENGINEER (NOTIFY 24 HOURS IN ADVANCE).
13. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ANY DEBRIS RESULTING FROM THE DEMOLITION AND CONSTRUCTION. AT NO TIME SHALL ANY OF THIS MATERIAL OBSTRUCT THE NORMAL OPERATION OF THE RESIDENT EMPLOYEES.
14. CONSTRUCTION MUST BE COORDINATED WITH AN ENGINEERING INSPECTOR TO ENSURE AN UNINTERRUPTED FLOW OF WORK STATION FUNCTION WHILE CONSTRUCTION IS UNDERWAY.
15. FINAL LOCATION OF CONSTRUCTION STAGING AREA TO BE DETERMINED AFTER BID.

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ARCHITECT

ENGINEER

THE NILE THEATER  
BUILDING FACADE RENOVATIONS

MESA, ARIZONA 85201

105 W. MAIN STREET

REV	DESCRIPTION	DATE

PROJECT NO.

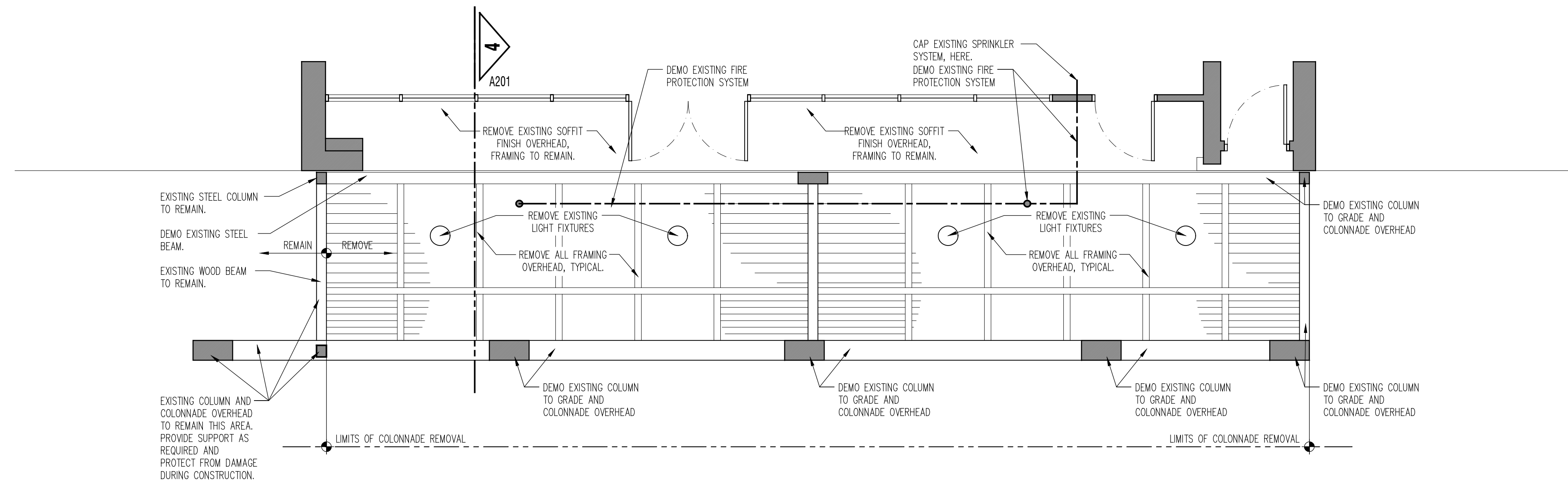
DATE  
JUNE 2017

DRAWING TITLE  
COVER SHEET

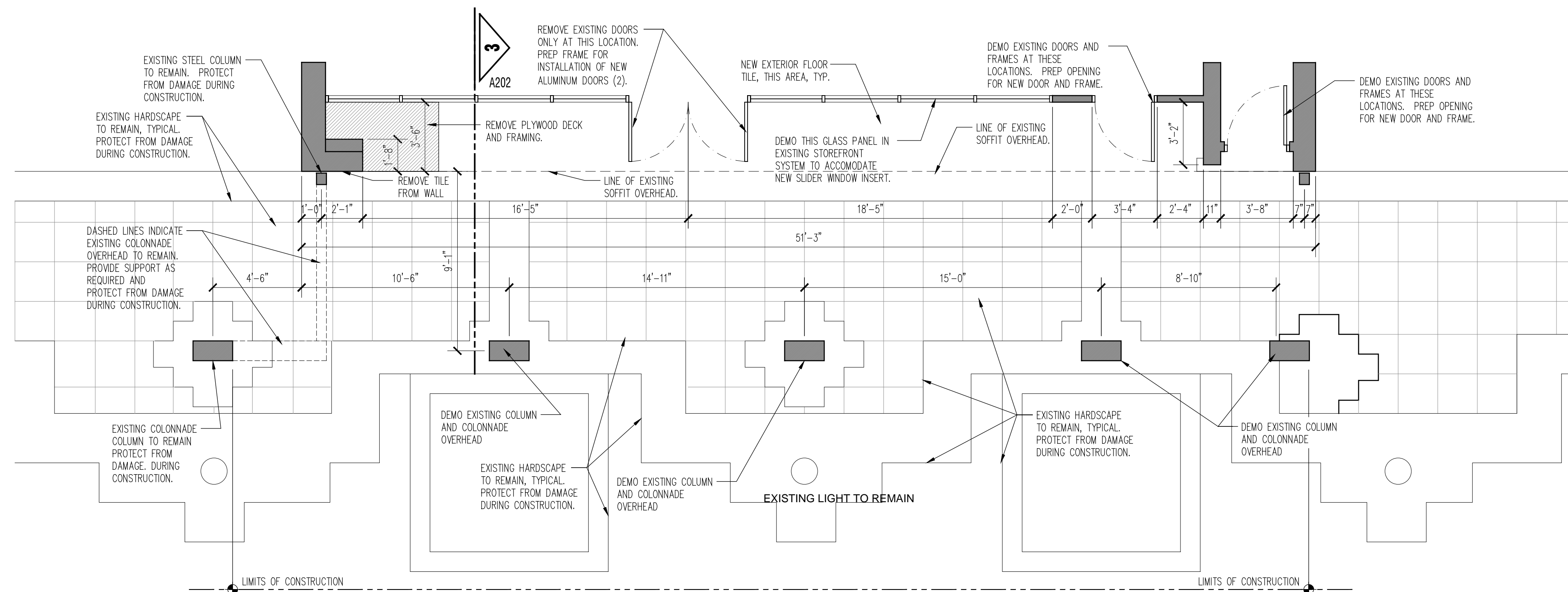
DRAWING NO.

A 001

1711 - THE NILE THEATER

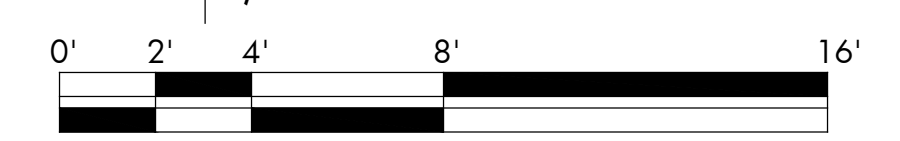


**2** demo reflected ceiling plan  
 scale 1/4" = 1'-0"



**1** demo floor plan  
 scale 1/4" = 1'-0"

**A** the Nile Theater - demolition plans  
 scale 1/4" = 1'-0"



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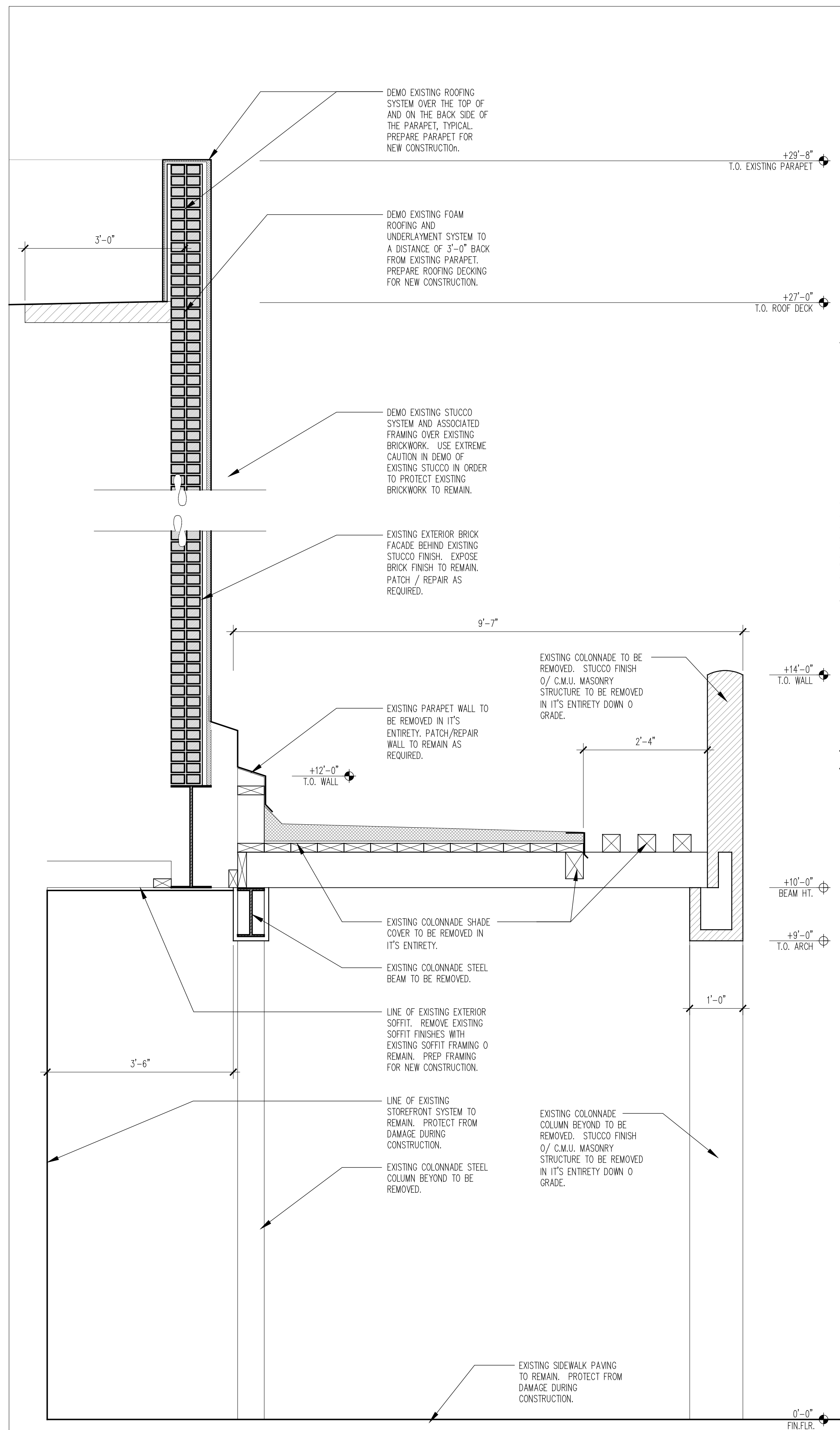
PROJECT NO.

DATE  
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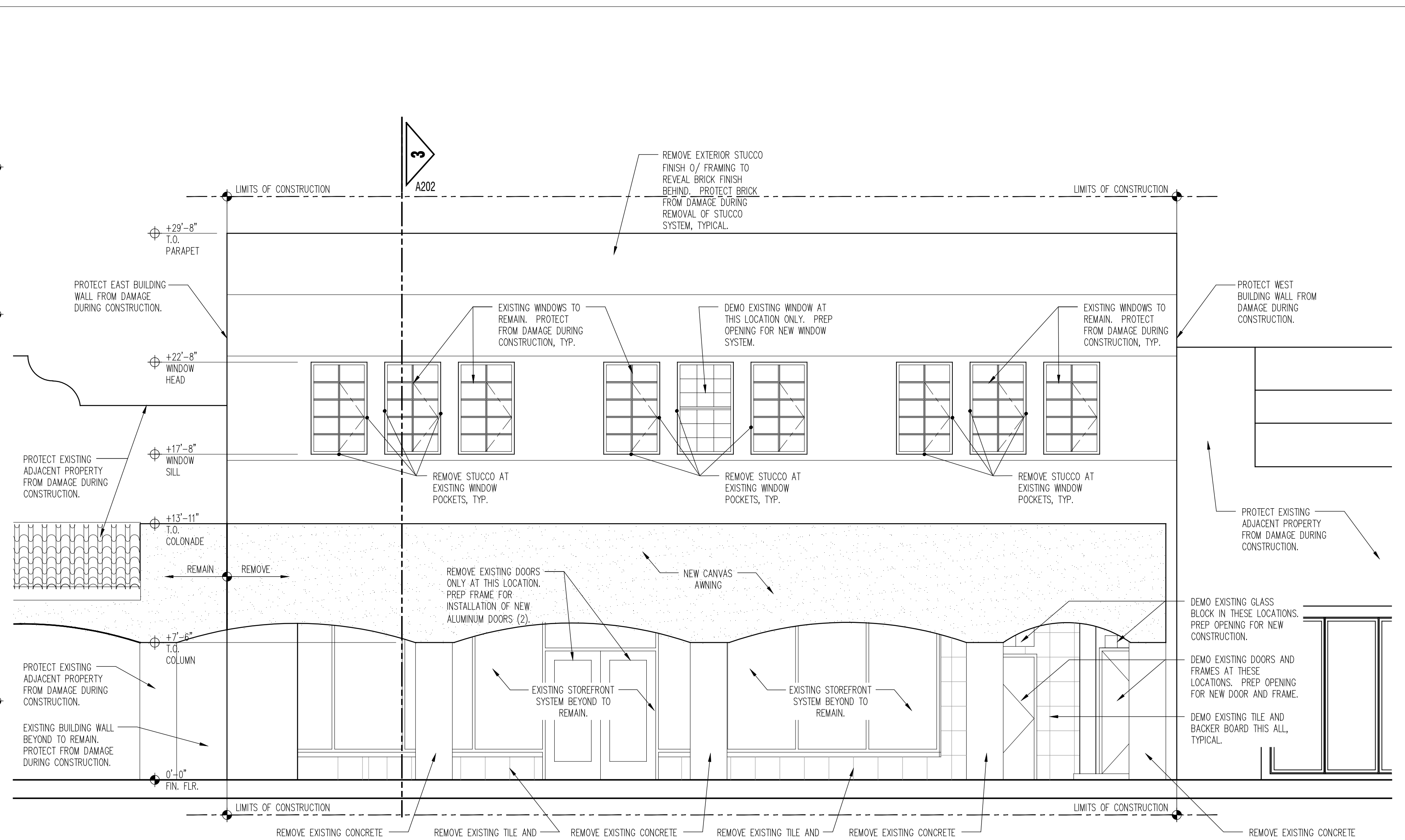
DRAWING TITLE  
 DEMOLITION PLANS

DRAWING NO.  
**A 201**

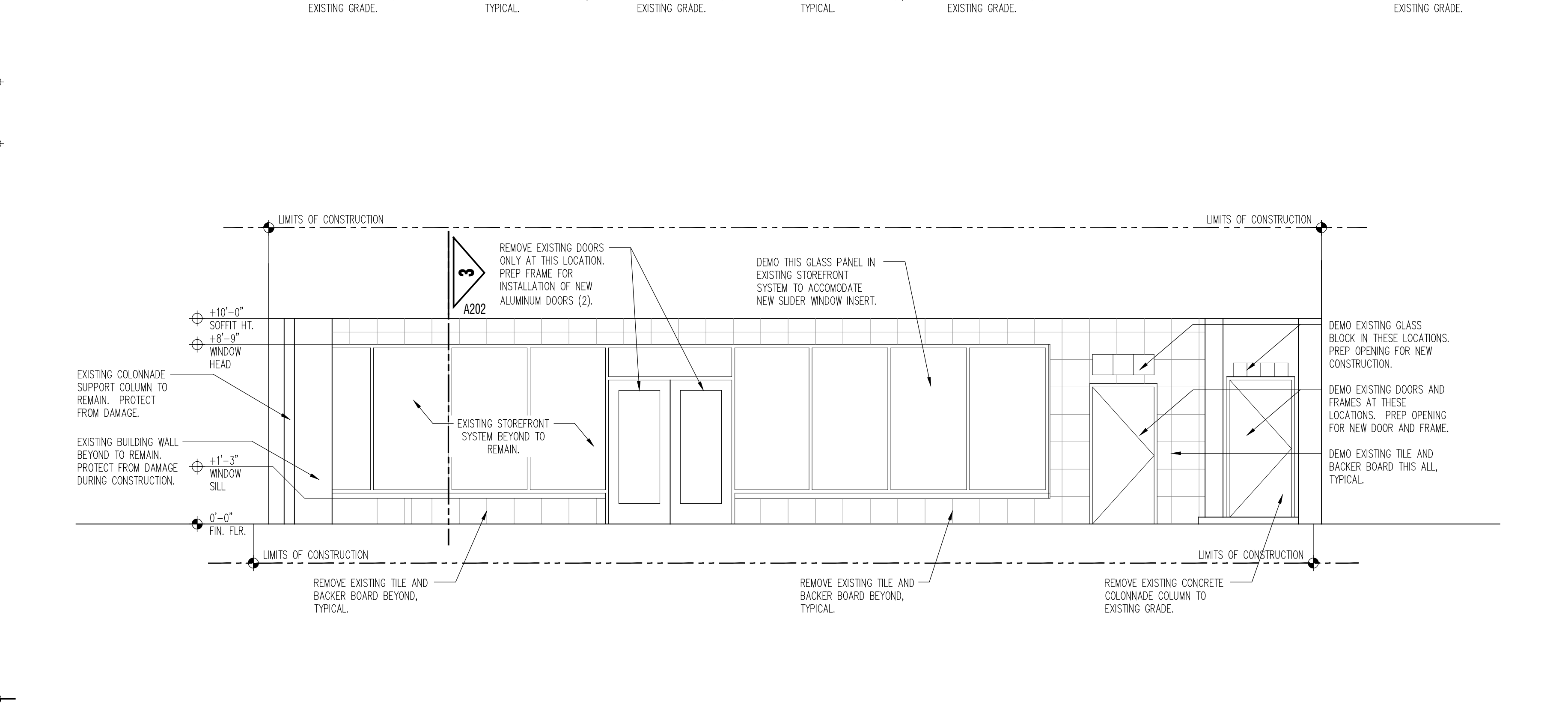
1711 - THE NILE THEATER



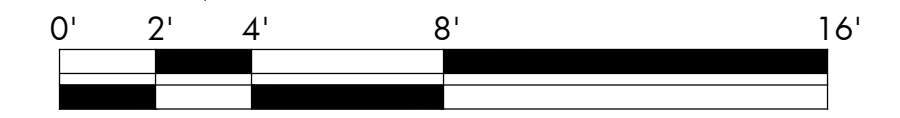
**3** section @ colonnade  
scale 3/4" = 1'-0"



**1** elevation @ building entry colonnade  
scale 1/4" = 1'-0"



**A** the Nile Theater - demolition elevations & sections  
scale 1/4" = 1'-0"



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BUILDING FACADE RENOVATIONS  
105 W. MAIN STREET MESA, ARIZONA 85201

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PROJECT NO.

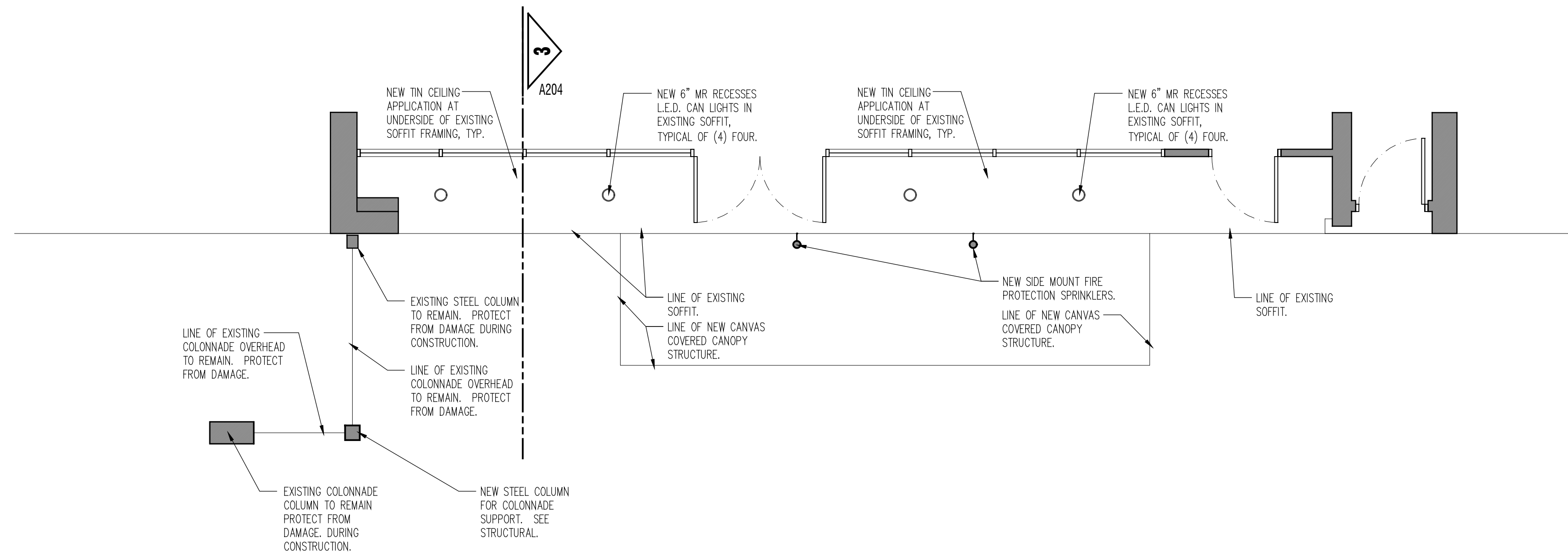
DATE  
JUNE 2017

DRAWING TITLE  
DEMOLITION ELEVATIONS & SECTIONS

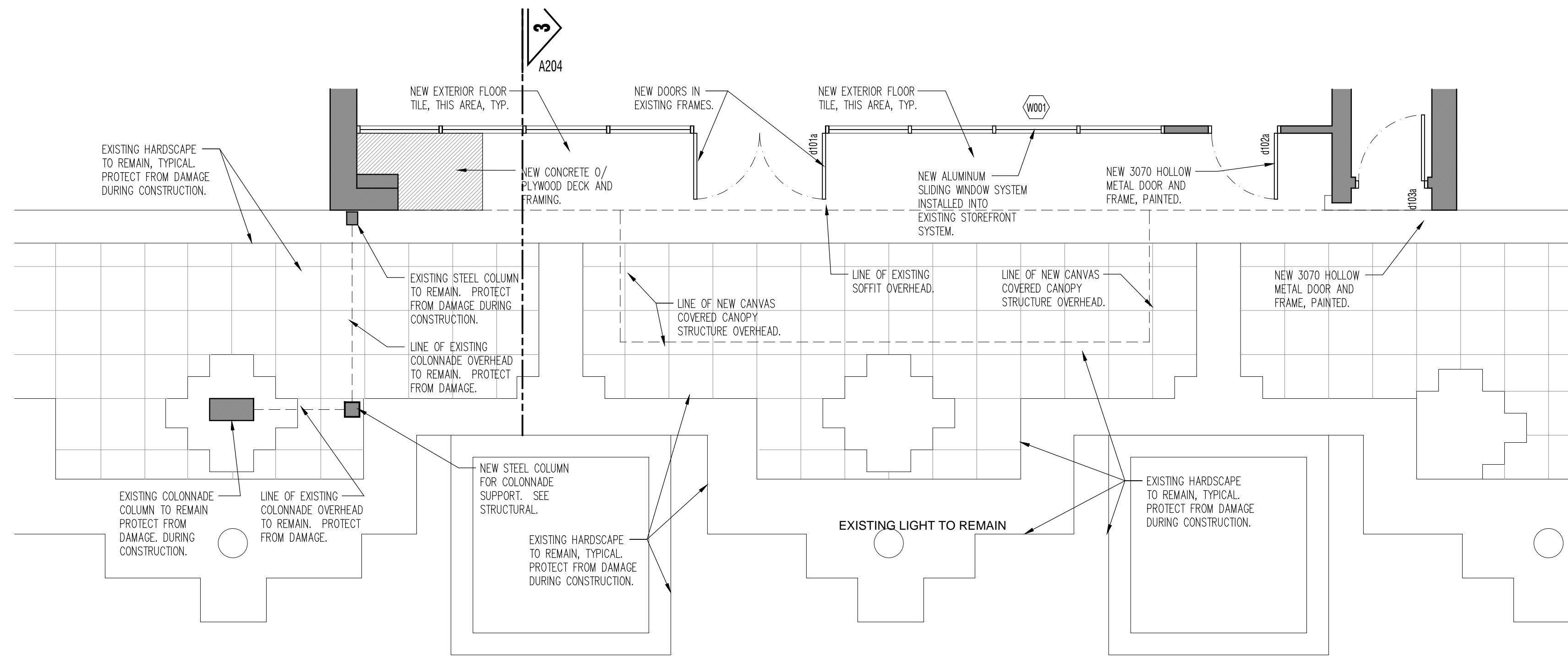
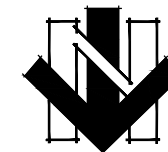
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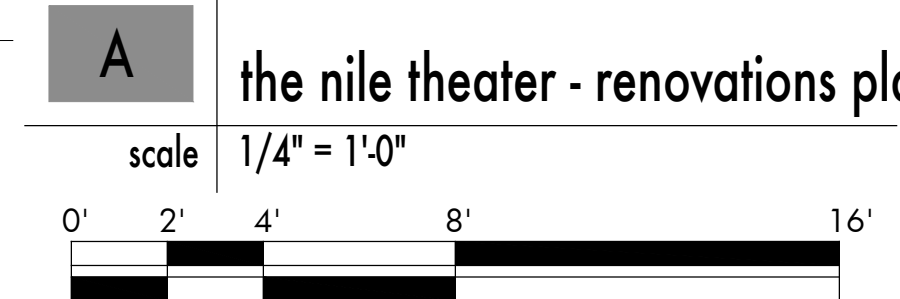
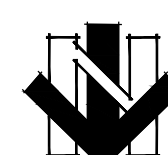
1711 - THE NILE THEATER



**2** new reflected ceiling plan  
 scale 1/4" = 1'-0"



**1** new floor plan  
 scale 1/4" = 1'-0"



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ARCHITECT

ENGINEER

THE NILE THEATER  
 BUILDING FACADE RENOVATIONS  
 105 W. MAIN STREET MESA, ARIZONA 85201

REV	DESCRIPTION	DATE

PROJECT NO.

DATE  
 JUNE 2017

DRAWING TITLE  
 RENOVATIONS PLANS

DRAWING NO.

**A 203**

1711 - THE NILE THEATER

### door & window finish / material key

ABBREVIATION:	DESCRIPTION:
ALUM	ALUMINUM - COLOR TO BE DETERMINED
HM	HOLLOW METAL
PAINT	PAINTED FINISH - COLOR TO BE DETERMINED
GLASS TYPE	PPG LOW-E SOLARBAN XL, (2) SOLARGREY + CLEAR

### general notes:

- ALL NEW DOORS AND WINDOWS SHALL MATCH EXISTING RESIDENCE. CONTRACTOR SHALL VERIFY PRODUCTS AND AVAILABILITY AND COORDINATE WITH OWNER.
- CONTRACTOR TO COORDINATE ACTUAL WINDOWS DOOR DIMENSIONS WITH FRAMING ROUGH OPENINGS.
- SEE OPERABLE WINDOWS ON WINDOW SCHEDULE AND FLOOR PLAN.
- DIMENSIONS TAKEN FROM INDICATED FINISH FLOOR.
- ELEVATIONS SHOWN FROM EXTERIOR.
- ALL WINDOWS ARE ALUMINUM CLAD WOOD WINDOWS. PROVIDE STAINED AND SEALED FINISH AT INTERIOR SIDE. EXTERIOR ALUMINUM COLOR TO BE DETERMINED.
- DOOR SWINGS PER PLAN.
- GLAZING WITHIN 24 INCHES OF SIDE OF SWINGING OR OPERABLE SLIDING DOOR TO BE SAFETY TYPE PER RESIDENTIAL CODE.
- CONTRACTOR TO COORDINATE HARDWARE PACKAGE WITH ARCHITECT PRIOR TO HARDWARE SUBMITTAL.
- ALL WOOD DOORS TO BE STAINED AND SEALED WITH VALHALLA WOOD PRESERVATIVES - "LIFETIME WOOD TREATMENT"
- ALL EXTERIOR GLAZING TO BE 1" INSULATED AND TINTED GLASS.
- ALL GLAZING LOCATED IN OPERABLE WINDOWS AND DOORS SHALL BE TEMPERED, SAFETY GLAZING PER LOCAL CODES.
- SIGNAGE PACKAGE WILL BE SUBMITTED SEPARATELY.

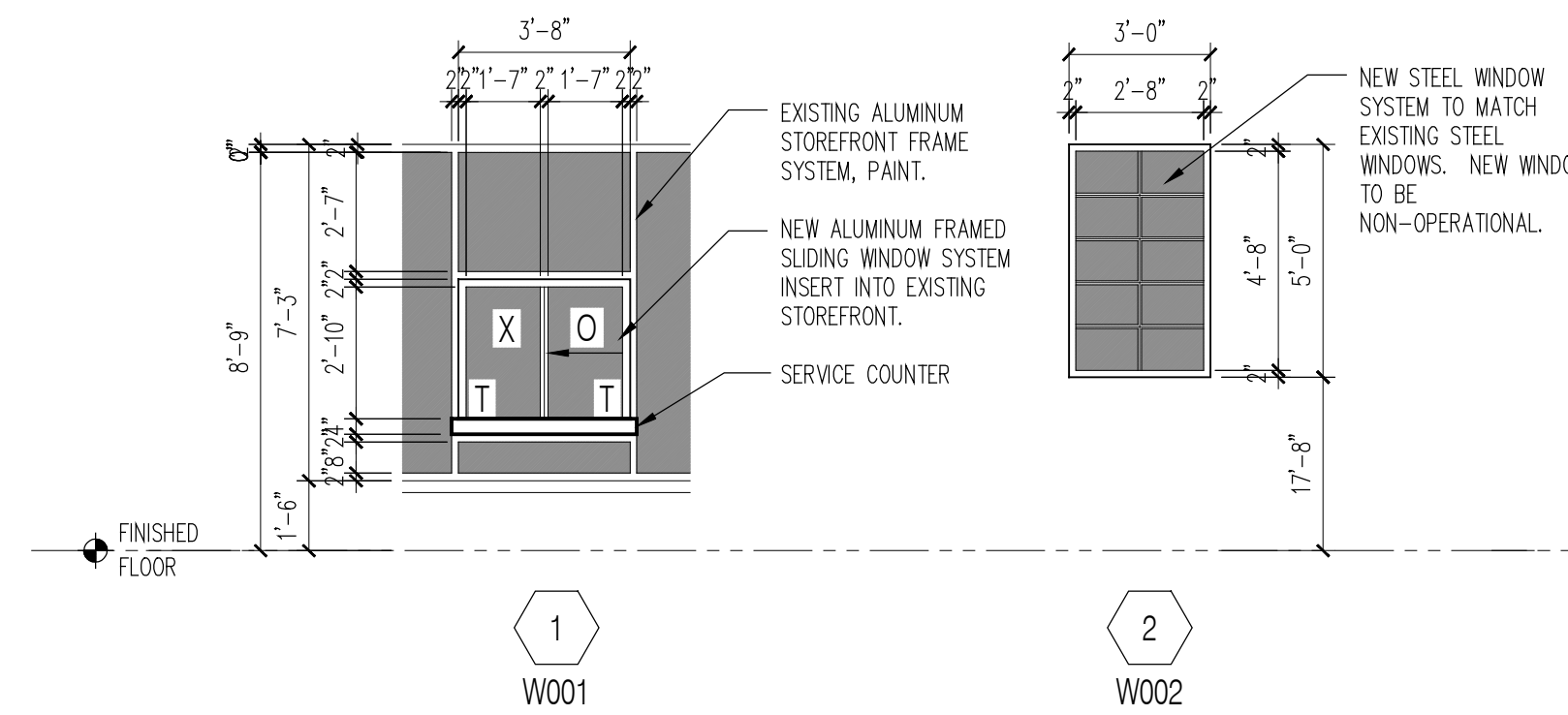
### door schedule

DOOR NUMBER	ROOM NAME	PAIR	SIZE	MAT'L	FIN.	TYPE	THK.	FM. MAT'L	FM. FINISH	SWING	HEAD	JAMB	SILL	HWDR. SET	REMARKS
d101a	Entry Door	X	(2)3'-0"x7'-0"	Alum.	Match Exist.	A	1-3/4"	Alum.	Match Exist.	LHR/RHR	-	-	-	T.B.D.	Semi Gloss Paint
d102a	Corridor	-	3'-0"x7'-0"	H.M.	Paint	B	1-3/4"	Paint	Paint	RHR	-	-	-	T.B.D.	Semi Gloss Paint; 10"R Circular Window
d103a	Apartment	-	3'-0"x7'-0"	H.M.	Paint	B	1-3/4"	Paint	Paint	RHR	-	-	-	T.B.D.	Semi Gloss Paint

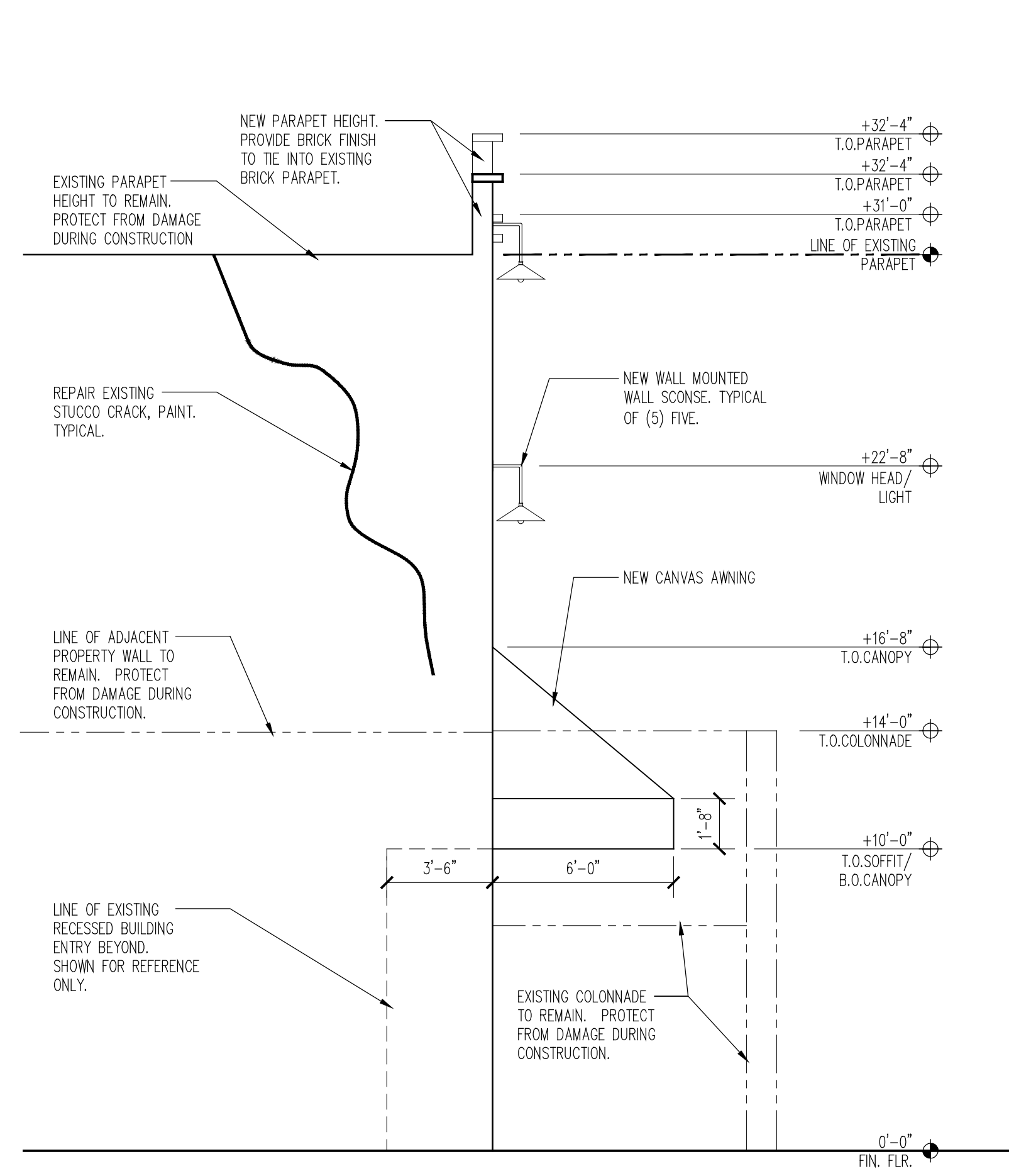
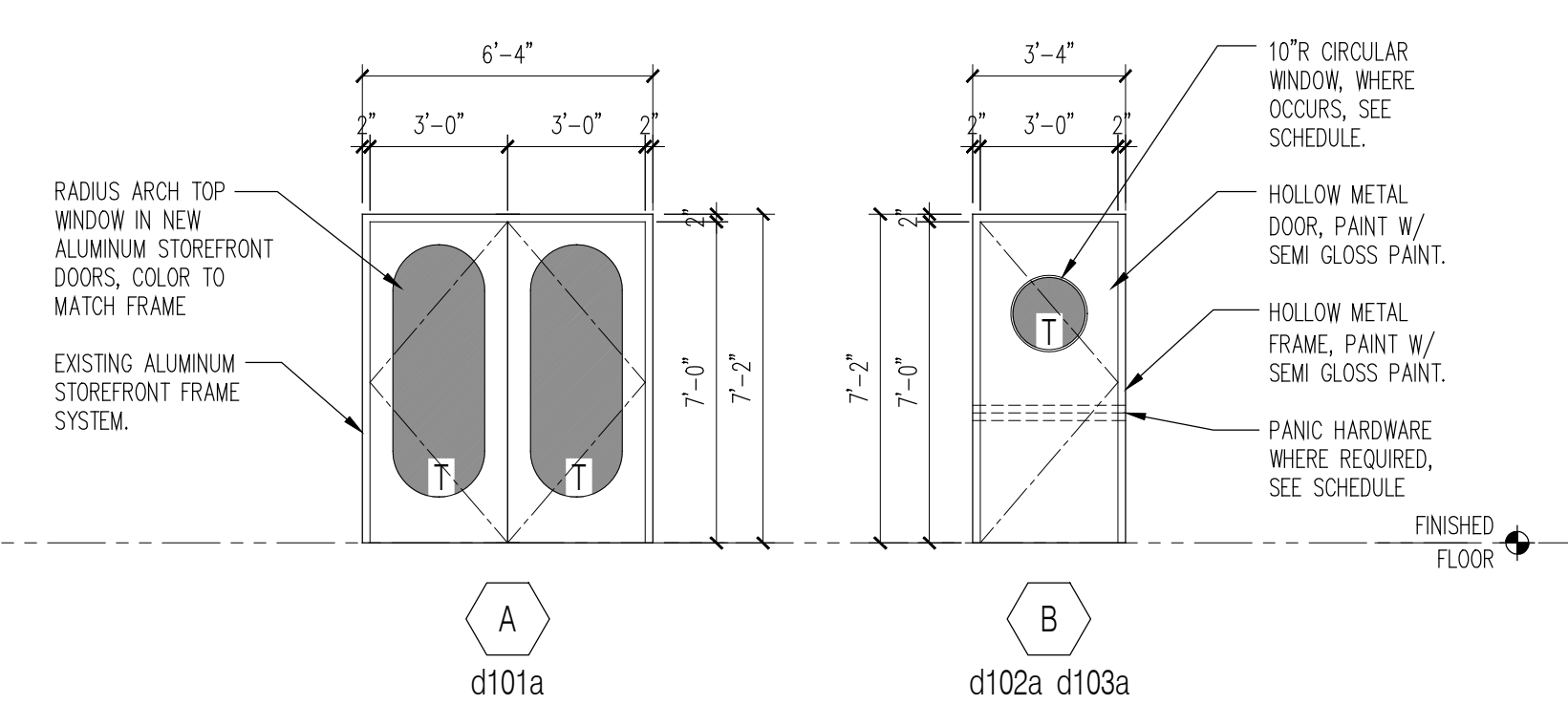
### window schedule

NUMBER	WINDOW SIZE (R.O.)	TYPE	MAT'L	FIN.	GLAZING - TYPE / COLOR	HEAD	JAMB	SILL	REMARKS
W001	3'-8" (w) x 3'-0" (h)	1	Alum.	Match Exist.	1" INSULATED, CLEAR EXT, CLEAR INT.	-	-	-	Sliding Service Window Set Into Existing Storefront Frame System.

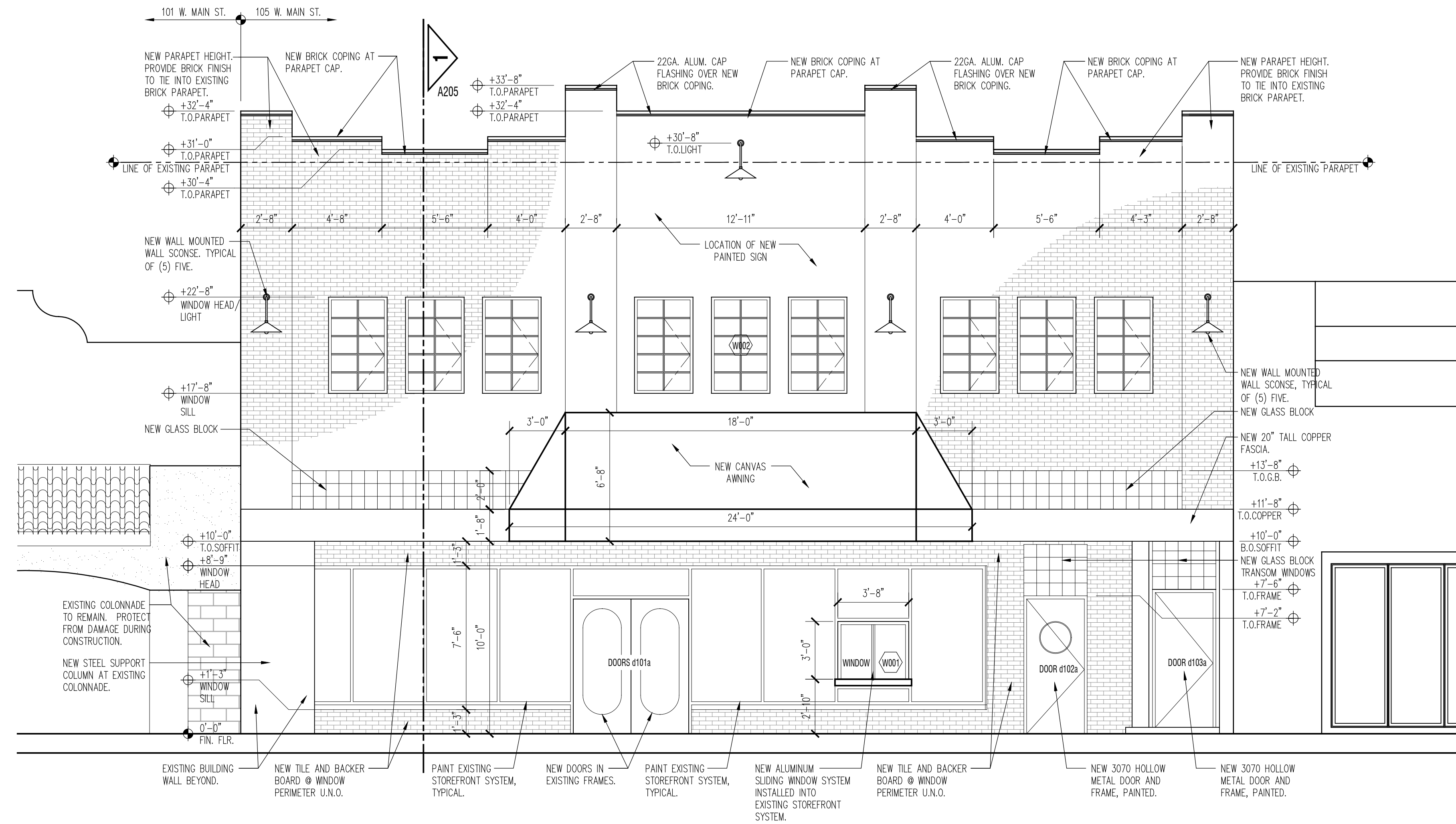
### window elevations



### door elevations

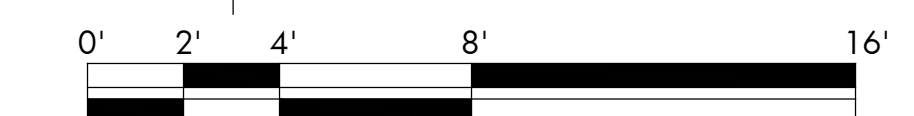


**2** new east building elevation  
scale 1/4" = 1'-0"



**1** new north building elevation  
scale 1/4" = 1'-0"

**A** the Nile Theater -  
new building elevations  
scale 1/4" = 1'-0"



REV	DESCRIPTION	DATE

PROJECT NO.

DATE  
JUNE 2017

DRAWING TITLE  
RENOVATION ELEVATIONS

DRAWING NO.

**A 204**

# NILE COLOR BOARD 105 W MAIN

Clearly Secure  
46.5 in. x 31 in. x 3.125 in. Wave Pattern Non-Vented Glass Block Window



NEW GLASS BLOCK

Compare



13 Options Available

BEHR Premium Plus Ultra #260D-7  
Copper Mountain Paint

★★★★☆ (513)

NEW DOORS AND METAL TRIM



WHITE SUBWAY TILE AT STREET FACADE LEVEL  
3"X 6"



AWNING OVER ENTRY BY SUNBRELLA



DARK BRONZE



EXISTING BRICK COLOR ??

COLOR OF EXISTING STOREFRONT